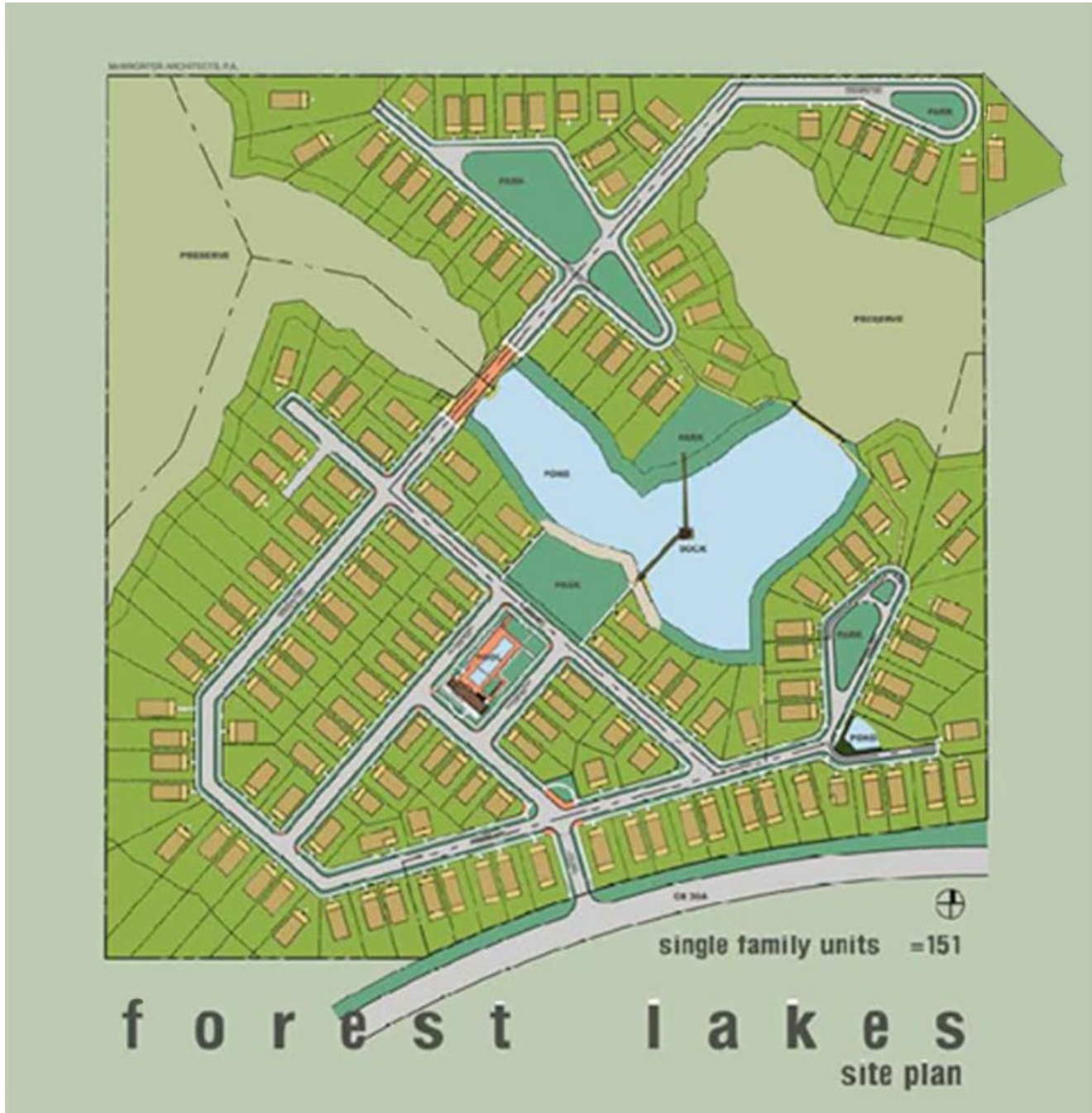


FOREST LAKES DESIGN CODE

Revised November 2025

The Forest Lakes Design Code Exhibits will be updated periodically, as needed.



FOREST LAKES DESIGN CODE

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FOREST LAKES DESIGN CODE

KEYS:

FLHOA – Forest Lakes Homeowners Association

DRB – Design Review Board

BOD – Board of Directors

FOREST LAKES DESIGN CODE

REGULATING PLAN



forest lakes
regulating plan



FOREST LAKES DESIGN CODE

LOT & TYPE DETAILS

LEGEND:

PARK HOUSE	TYPE I
PARK HOUSE	TYPE I *
PARK HOUSE	TYPE II
TOWER HOUSE	TYPE III
TOWER HOUSE	TYPE III *
30A HOUSE	TYPE IV
30A HOUSE	TYPE IV *

PHASE I LOT #	HOUSE TYPE	PHASE I LOT #	HOUSE TYPE	PHASE II LOT #	HOUSE TYPE	PHASE III LOT #	HOUSE TYPE	PHASE IV LOT #	HOUSE TYPE		
1	I	40	I	1	I	1	I	1	IV		
2	I	41	I	2	I	2	I	2	IV		
3	I	42	I	3	I	3	I	3	IV		
4	I *	43	I	4	I	4	I	4	IV		
5	I *	44	I	5	I	5	I	5	IV		
6	I *	45	I	6	I	6	I	6	IV		
7	I *	46	II	7	I	7	I	7	IV		
8	I *	47	II	8	I	8	I	8	IV		
9	I *	48	II	9	I	9	I *	9	IV		
10	I *	49	II	10	I	10	I *	10	IV		
11	I *	50	II	11	I	11	III	11	IV		
12	I *	51	I	12	I	12	I	12	IV		
13	I *	52	I	13	I	13	I	13	IV *		
14	I *	53	III	14	I	14	I	14	IV *		
15	I *	54	III	15	III *	15	I	15	IV		
16	I *	55	I	16	I *	16	III *	16	IV		
17	I *	56	II	17	I	17	III *	17	IV		
18	I *	57	II	18	I	18	I	18	IV		
19	I *	58	II	19	I	19	I				
20	I	59	II	20	I	20	I				
21	I	60	III	21	I	21	I				
22	I	61	II	22	III *						
23	I	62	II	23	I						
24	I *	63	II	24	I						
25	I *	64	II	25	I						
26	I *	65	III	26	I						
27	I *	66	III	27	I *						
28	I *	67	III	28	I *						
29	I	68	I	29	I *						
30	I	69	I	30	I *						
31	I	70	I	31	I						
32	I	71	I	32	I						
33	I	72	I	33	I						
34	I	73	I								
35	I	74	I								
36	I	75	I								
37	I	76	I								
38	I	77	I								
39	III	78	I								

An additional lot was annexed into FLHOA before February 2020. The lot is known as Lot 10 Block A of Gulf Hills Estates.

With the addition of this Lot the FLHOA now has a total of 151 lots.

FOREST LAKES DESIGN CODE

ARCHITECTURAL DESIGN CODE

1. Site Walls

- a. General: Provide site retaining walls as required pending approval from the **Forest Lakes Design Review Board (known as the DRB)**.

2. Building Walls

- a. General: Building Walls shall be finished in cedar, shingles, “Hardi Plank” lap siding, wood clapboard, board and batten, or board on board, and then clear sealed, stained or painted. Foundation walls shall be brick. Changes of material shall only occur along horizontal lines.
- b. Foundation Walls: The foundation walls shall be brick clad, painted, or left natural. The brick shall extend from grade to the 1st Floor framing and up to 24” above the 1st Floor sole plate.
- c. Siding and Shingles: Shingles and siding will be maximum 8” to the weather. Decorative shingles will not be permitted. Shingles will machine cut with bottom edges aligned. Nails and screws will be stainless steel 316 fasteners.
- d. Approved Brick Selections: The approved brick selections are General Shale Brick as shown on ***E1–Approved Brick Selections***: Additional brick selections will be reviewed by the DRB. All brick are to be “modular” in size.
- e. Color Selection: Building Walls will be one color per material used. Paints for masonry application shall have a flat finish. All exterior wood siding shall be stained or painted, preferably on both sides. Wood shingles may be left to age naturally. An Accent Color, for items such as the front door, pickets, trim, shutters, and recessed planes may be used subject to approval. Walls will be in the range of colors approved for their respective materials.
- f. Approved Colors: The Approved Colors for exterior wood siding trim, soffit, pickets, shutters, and doors are as follows by Benjamin Moore or equal: refer to ***E2–Approved Colors (Body & Trim Colors)***.
- g. Trim: Trim will be minimum grade ‘clear’ trim lumber and shall not exceed 6” in width at comers and around openings, except at the front door where it may be any size or configuration.
- h. Vents: Foundation vents shall be wood and stained, decorative metal inset, or screened openings in the brick foundation wall.

3. Building Heights

- a. General: The floor elevation for any heated and cooled space shall be a minimum of 24” and a maximum of 36” above the crown of the road. The front porch floor elevation shall be a minimum of 18” and a maximum of 24” above the crown of the road.
- b. Floor to Ceiling Heights: One Story of the main house shall be between 9’ and 13’ (floor to ceiling) in height. All others are to be between 8’ and 10’ (floor to ceiling) in height.
- c. Maximum Building Height: The Maximum building height shall be 35 feet above the crown of the road in front of the house to the roof ridge. 3rd Floor towers shall not exceed 45 feet.

4. Doors and Windows

- a. General: Windows shall be made of wood (painted), aluminum Clad. Doors shall be wood or smooth composite material. Windows shall be rectangular, vertically proportioned, and operable. Transoms shall be oriented horizontally with panes that match other opening configurations. Multiple windows (more than two) in the same rough opening shall be separated by a 4” min. Doors shall be painted, stained or clear sealed. Paired main entry doors shall be a maximum of 5’ finished

FOREST LAKES DESIGN CODE

- opening. Sliding glass doors are not permitted when visible from the street.
- b. Glazing: Tinting, foil, or other reflective materials are not allowed.
 - c. Screens: Storm Windows and Screens frames shall be integral. With the window. Screens will be made of bronze or black vinyl.
 - d. Shutters: Bevel board panels or louvered shutters are acceptable. All shutters shall be operable. Shutters must be sized to fit the window and must be wood or fiberglass. Roll-down storm shutters are permitted but must be concealed from view. Roll-down shutters are to be the building design and may not be surface mounted.
 - e. Garage Door Specifications:
 - Carriage House Door or approved equal.
 - Watercolor/Watersound Garage Door Specifications
 - All facing to be 5/8" minimum thickness (3/4" preferred) x 5 1/2" minimum width.
 - Custom Designs shall match architect's approved drawings.

5. Porches

- a. Porch Floors: Porch Floors shall be brick, stained or painted wood, or concrete.
- b. Columns: Porch columns shall be brick or a combination of wood timber on a brick base. Wood timbers shall be no less than 6" x 6". Metal connectors may be used for timber connections of an architectural nature but must be approved by Forest Lakes Design Review Board (DRB). Brick columns shall be no less than 12" x 12" square and can exceed the brick foundation wall height and extend to the porch beam.
- c. Ceilings: Porch ceilings may be enclosed with painted wood. Exposed joists and decking shall be painted or stained. Nails and screws will be stainless steel 316 fasteners. Hurricane strapping and joist hangers shall be concealed.
- d. Railings: Porch railings are required on all porches. Porch railings shall be made of wood or brick. Front porch wood railings shall be no more than 42" in height above the porch floor (max. if a code railing is required) and no less than 18". Wood railings shall have top and bottom rails, and all pickets or patterned railings shall center on the rails. Brick railing shall not exceed 24" in height above the porch floor.
- e. Stoops: Stoops are to comply with all porch requirements and may be roofed, trellised or open. Stoops are not to be taller than the first-floor top plate.
- f. Screened Porches: Porches may be enclosed with shutters or screening. Screened porches shall have screens framed in wood or extruded aluminum installed behind framed railings. Screened doors shall have painted or stained wood frames.

6. Roofs

- a. General: Principal Roofs on all freestanding buildings shall be a symmetrical hip or gable with a slope of 3:12 to 10:12. Also allowed are gabled hips and flared hips, Ancillary roofs (attached to walls or roofs) may be shed roofs sloped no less than 2:12 Roofs towers may be flat or have a slop that matches the primary structure. Roofing material shall be mill finish, galvanized steel. The metal roof shall be corrugated, 5 V Crimp or standing seam. The minimum thickness shall be 26 gauge. Flashing shall match the roofing material in finish and thickness.
- b. Flat Roofs: Flat roofs shall be permitted only when occupiable and accessible from an interior room. However flat roofs are allowed on tower and are not required to be accessible from an interior room.
- c. Parapets: Parapets are permitted but discouraged unless used in conjunction with roof terraces. Parapets are not to exceed 24" in height above the adjacent roof, except at roof terraces where they are permitted to be at railing height.
- d. Eaves: Eaves shall be continuous, unless overhanging a balcony or porch. Eaves on the main building shall have an overhang that is no less than 18" and no more than 36". Rafter tails are to be

FOREST LAKES DESIGN CODE

exposed, and soffits are to be painted or stained wood.

- e. Dormers: Dormers shall light habitable spaces. Dormers are to be a minimum of 4' from the corners of the building and are to have gabled roofs or hipped roofs with a slope to match the principal structure. Shed dormers shall have roof slopes less than that of the primary roof.
- f. Chimneys: Chimneys shall be brick or painted brick that matches the foundation wall in shape, dimension, and color. Decorative chimney tops or mental shrouds will be reviewed on an individual basis. Metal flues are to be concealed from view. No direct vent wall vents are allowed.
- g. Penetrations: Roof Penetrations (vents, exhausts, etc.) shall be placed so as not to be easily from streets or paths and shall be painted to match the color of the roof except those of metal, which may be left unpainted.

7. Gutters and Drainage

- a. General: Gutters and downspouts are allowed for all roofs and shall be made of galvanized steel or anodized aluminum and match the finish of the material. Downspouts should be placed at the corner of the building least visible from nearby streets. Gutters shall be square or half-round. Downspouts shall be round. Rainwater shall be direct towards the engineered areas as set forth in the Civil Engineering Drawings.
- b. Site Drainage: All storm water shall be handled by on-site retention areas and shall be in accordance with the Civil Engineering Plan.

8. Parking

- a. General: All homes are to provide a minimum of 2 parking spaces within the area indicated in the Parking Diagrams, see also the Walton County LDC. Driveway entries from the street are to be located as indicated in the Hardscape Diagrams. The grade of the driveway shall remain level with the intersection of the driveway and the sidewalk unless slope of property dictates a sloped driveway. To keep the driveway level a Driveway Retaining Wall may be required.
- b. The set requirement for a garage is 36 ft. from the property line to the front of the garage.
- c. Garages and carports approved during the Design Review process shall remain in use as such and shall not be converted to conditioned living space at a later date.

9. Lighting

- a. General: No lighting is to be located as to interfere with vehicular traffic or become a nuisance to neighbors by adversely affecting the nighttime environment of adjacent properties. Required exterior lighting shall include a photocell activated wall mounted fixture on the Front Porch. Fixtures, wattage, and locations of landscape lighting are subject to review by the DRB. All exterior lighting must be 2700K in color temperature. Up lighting will be prohibited unless proper shielding of light is provided and if impact on adjacent properties is minimal.

10. Utilities

- a. General: All utilities shall be placed below grade. Electric and gas meters shall be placed on the 5' side setback of the house. Exterior tank less hot water heater shall be placed in the 5' side setback of the house and screened so that it is not visible from the street.

11. Towers

- a. Allowable Sizes: The maximum footprint of a Tower shall not exceed 25 % of the 2nd Floor footprint (50% for Type III house) and shall be placed as indicated in the Massing Diagram. The top floor may be enclosed or open air; roof terraces are encouraged.

12. Pools

- a. Pools are allowed when not visible from the street, if it does not require excessive tree removal and does not interfere with the storm water management within the Lot. The Code required 48" fence/railing surround shall match the porch railing in layout and color.

FOREST LAKES DESIGN CODE

13. Fences

- a. Refer to **E3 - Fences** for specific details and requirements.

14. Bollards

- a. Refer to **E4 - Bollards** for specific details and requirements.

15. Signage – For Sale

- a. General: The intent of this ordinance is to standardize all signs utilized in Forest Lakes in order to establish consistency while affording each lot or homeowner the ability to bring attention to his/her needs, i.e., sell, rent, identify, etc. These signs are approved by the DRB. Changes in these ordinances can only be made by the aforementioned body.
- b. Signs may be placed on a lot for the following purposes but no more than one sign per lot will be allowed: For Sale.
- c. The standard permanent sign will be one-sided, will face the street and will be located not more than 10" from the street on an undeveloped lot. The standard sign form is to be the shape and design as shown. Each sign shall be white with forest green letters as indicated on the attached exhibit.
- d. No sign shall be allowed on vacant lots other than a sign offering the lot for sale which conforms to the standard sign specifications as shown on the attached Exhibit.
- e. The Forest Lakes Community Owners' Association through their Management shall have the absolute authority to remove and retain without notice, any and all signage that is prohibited, non-conforming to standard specifications or not having prior approval of the DRB.
- f. Refer to **E5 – Signage – For Sale** for specific details and requirements.

16. Signage - Rental

- a. Refer to **E6 – Signage – Rental** for specific details and requirements.

17. Miscellaneous

- a. Metal Elements: All metal will be finished galvanized steel, or anodized aluminum.
- b. Non-permitted Building Elements: Panelized wall materials quoins, wall perforations, stucco-covered foam moldings, stained glass, curved windows, air-conditioning units, exterior florescent lights, exterior flood lights, above-ground pools (except those of the inflatable variety), antennas, flags and flag poles { except official flags of countries, states, counties and cities flown from 6' poles mounted at a 45 degree angle to building walls or as provided by Forest Lakes for use in common areas), Signs (on private property), direct vent fireplaces, scroll work, external alarm systems, and basketball goals.
- c. Exterior Stone: Precast molding and natural stone accents will be permitted on a limited basis but are subject to review by the DRB.
- d. Mailboxes. Mailboxes will be clustered and placed at the central Pool Porch. No individual mailboxes will be allowed.
- e. Solar Collector: The use of solar energy producing devices (active and/or passive) are subject to approval, but in all cases must be removed from view from the street or adjacent properties. Skylights are not permitted within view of or from the facing street.
- f. Bay Windows: Bay windows are to be a min. 8' above grade and may project a maximum of 2'. Bay windows are permitted to be 1 or 2 stories in height. The principle long face of Bay Windows shall be glazed.
- g. Non-permitted building systems: The use of offsite/factory built modular units compromising either all, or a substantial part, of a residence is not permitted. Certain factor built framing components may be considered on a case-by-case basis by the DRB and approved per a project specific variance.

FOREST LAKES DESIGN CODE

Type I

1. General Requirements

- a. In the case of discrepancies, the Regulating Plan shall override the General Building Requirements.
- b. Porches and balconies may extend beyond the building footprint as indicated in the Porch Diagram.
- c. The building height shall be 2 or 3 stories. See Massing Diagram.

2. Setbacks

- a. Building shall be placed relative to property lines as indicated.

3. Porches

- a. Open porches, stoops, and balconies may encroach as indicated as well as within the allowable building footprint.
- b. Required porches shall be no less than 75% in width of the elevation it engages.
- c. A porch is required as indicated in the Porch Diagram, at first floor only.
- d. A deck or covered porch is permitted above the first-floor porch.
- e. Upper porches and balconies may be shuttered.

4. Parking

- a. At least 2 parking spaces are to be provided within the indicated area, see also Walton County LDC.
- b. The setback requirement for a garage is 36 ft. from the property line to the front of the garage.

5. Driveways

- a. Driveways shall be at the same grade height as the street or follow the slope of the lot.
- b. See "Hardscape Diagram" for materials and layout.

6. Site Walls

- a. Driveway retaining wall may be required to be reviewed on site by DRB.

7. Utilities

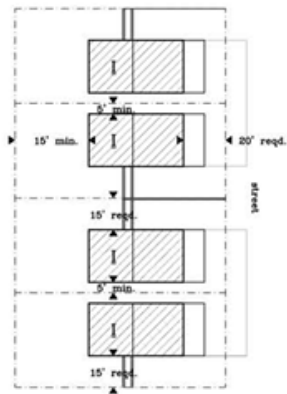
- a. The garbage bin and storage structure (optional) shall be located within the indicated Utility Zone.
- b. The A/C. compressor and meters shall be located on the 5' setback side of the house.

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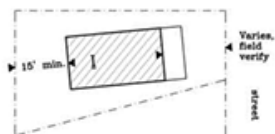


TYPE I AND TYPE I *

SETBACK DIAGRAM

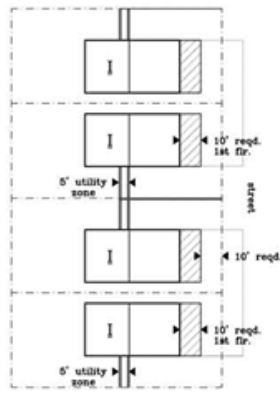


SETBACK DIAGRAM FOR TYPE I *

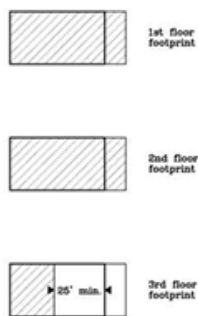


HOUSES ON SELECT * IDENTIFIED LOTS CAN BE PLACED FURTHER BACK FROM THE FRONT SETBACK LINE DUE TO LOT CONFIGURATION AND/OR TOPOGRAPHY.

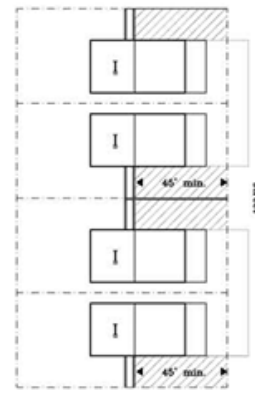
PORCH DIAGRAM



MASSING DIAGRAM



PARKING DIAGRAM



FOREST LAKES DESIGN CODE

Type II

1. General Requirements

- a. In the case of discrepancies, the Regulating Plan shall override the General Building Requirements.
- b. Porches and balconies may extend beyond the building footprint as indicated in the Porch Diagram.
- c. The building height shall be 2 or 3 stories. See Massing Diagram.

2. Setbacks

- a. Buildings shall be placed relative to property lines as indicated.
- b. Site walls and fences shall be built as indicated.

3. Porches

- a. Open porches, stoops, and balconies may encroach as indicated as well as within the allowable building footprint.
- b. Requirement porches shall be no less 75 % in width of the elevation.
- c. Requirement porches shall be in accordance with the Porch Diagram.
- d. A covered Porch is required above first floor porch.
- e. The upper porch may be open or shuttered.

4. Parking

- a. At least 2 parking spaces are to be provided within the indicated area, see also Walton County LDC.
- b. The driveway length shall accommodate two cars; both set behind the front elevation of the house.
- c. The setback requirement for a garage is 36 ft. from the property line to the front of the garage.

5. Driveways

- a. Driveways shall be at the same grade height as the street or follow the slope of the lot.
- b. See “Hardscape Diagram” for materials and layout.

6. Site Walls

- a. Driveway retaining wall may be required to be reviewed on site by DRB.
- b. Side yard site walls may be required.

7. Utilities

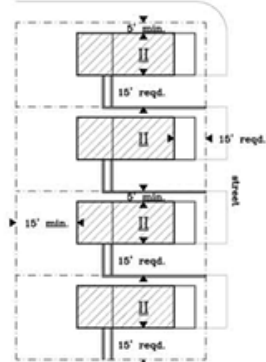
- a. The garbage bin and storage structure (optional) shall be located within the indicated Utility Zone.
- b. The A/C compressor and meters shall be located on the 5' setback side of the house.

FOREST LAKES DESIGN CODE

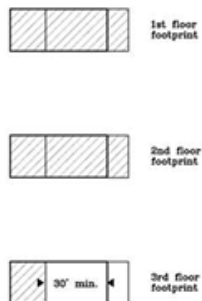


TYPE II

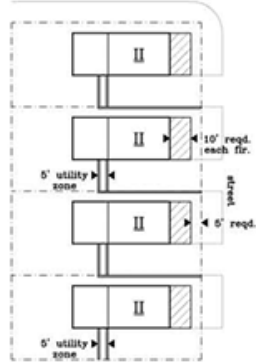
SETBACK DIAGRAM



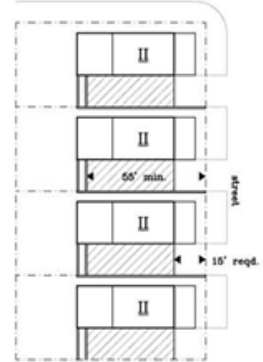
MASSING DIAGRAM



PORCH DIAGRAM



PARKING DIAGRAM



FOREST LAKES DESIGN CODE

Type III

1. General Requirements

- a. In the case of discrepancies, the Regulating Plan shall override the General Building Requirements.
- b. Porches and balconies may extend beyond the building footprint as indicated in the Porch Diagram.
- c. The building height shall be 2 or 3 stories.
- d. 3rd story shall not exceed 900 square feet, including porches.

2. Setbacks

- a. Building shall be placed relative to property lines as indicated.

3. Porches

- a. Open porches, stoops, and balconies may encroach as indicated as well as within the allowable building footprint.
- b. A porch is required as indicated in the Porch Diagram, at first floor only.
- c. Upper porches and balconies may be shuttered.

4. Parking

- a. At least 2 parking spaces are to be provided within the indicated area, see also Walton County LDC.
- b. The setback requirement for a garage is 36 ft. from the property line to the front of the garage.

5. Driveways

- a. Driveways shall be at the same grade height as the street or follow the slope of the lot.
- b. See “Hardscape Diagram” for materials and layout.

6. Site Walls

- a. Driveway retaining wall may be required to be reviewed on site DRB.

7. Utilities

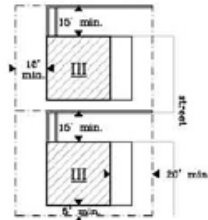
- a. The garbage bin and a storage structure (optional) shall be located within the indicated Utility Zone.
- b. The A/C compressor and meters shall be located on the 5' setback side of the house.

FOREST LAKES DESIGN CODE

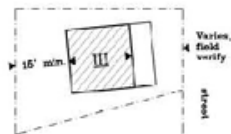


TYPE III AND TYPE III *

SETBACK DIAGRAM

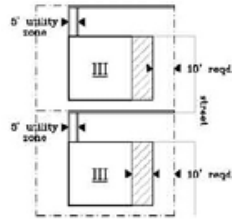


SETBACK DIAGRAM FOR TYPE III *

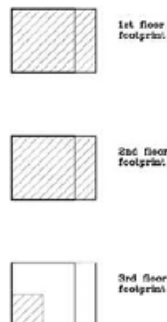


HOUSES ON SELECT * IDENTIFIED LOTS CAN BE PLACED FURTHER BACK FROM THE FRONT SETBACK LINE DUE TO LOT CONFIGURATION AND/OR TOPOGRAPHY.

PORCH DIAGRAM

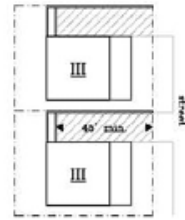


MASSING DIAGRAM



THIRD FLOOR NOT TO EXCEED 50% OF FOOTPRINT

PARKING DIAGRAM



FOREST LAKES DESIGN CODE

Type IV

1. General Requirements

- a. In the case of discrepancies, the Regulating Plan shall override the General Building Requirements.
- b. Porches and balconies may extend beyond the building footprint as indicated in the Porch Diagram.
- c. The building height shall be 1 or 2 stories.
- d. Signage shall be in accordance with the Forest Lakes Master Signage Plan.

1. Setbacks

- a. Building shall be placed relative to property lines as indicated.

2. Porches

- a. Open porches, stoops, and balconies may encroach as indicated as well as within the allowable building footprint.
- b. Required porches shall be no less than 75% in width of the elevation facing the street.
- c. A porch not less than 30% A side of the width of the house is required on the 30 A side of the house,
- d. Required porches shall be in accordance with the Porch Diagram.
- e. Upper porches and balconies may be open or shuttered.

3. Parking

- a. At least 2 parking spaces are to be provided within the indicated area, see also Walton County LDC.
- b. The setback requirement for a garage is 36 ft. from the property line to the front of the garage.

4. Driveways

- a. Driveways shall be at the same grade height as the street or follow the slope of the lot.
- b. See “Hardscape Diagram” for materials and layout.

5. Site Walls

- a. Driveway retaining wall may be required to be reviewed on site DRB.

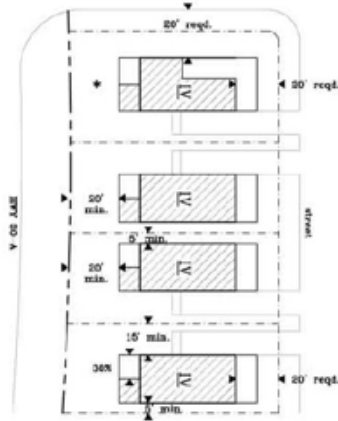
6. Utilities

- a. The garbage bin and storage structure (optional) shall be located within the indicated Utility Zone.
- b. The A/C compressor and meters shall be located on the 5' setback side of the house.

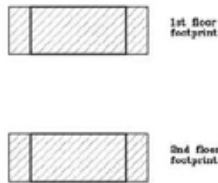
FOREST LAKES DESIGN CODE

TYPE IV AND TYPE IV *

SETBACK DIAGRAM

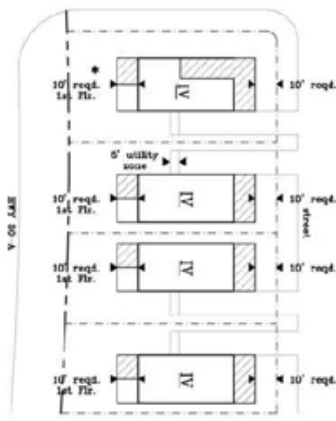


MASSING DIAGRAM

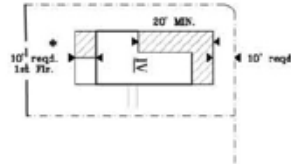


NOT TOWERS (3RD FLOOR) ALLOWED IN TYPE IV

PORCH DIAGRAM

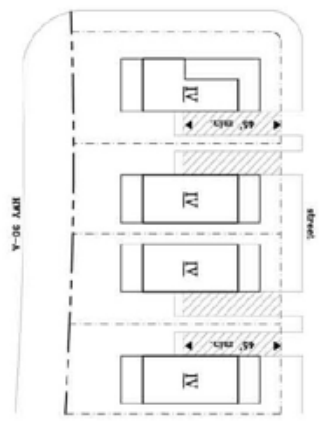


PORCH DIAGRAM FOR TYPE IV *



A 20' SIDE PORCH FACING THE ENTRY DRIVE IS REQUIRED.

PARKING DIAGRAM



FOREST LAKES DESIGN CODE

SITE DESIGN CODE

1. Sitework

- a. Retaining Walls
 - A driveway retaining wall may be required to make the driveway level and flat or to alter the topography. Driveway retaining walls shall be pressure treated wood and have a wood cap. Its height shall not exceed the height of the grade it is retaining.

2. Hardscape

- a. Sidewalks
 - The Front Entry Walk shall be 4 feet in width and constructed of clay brick pavers laid on a compacted sand base without mortar with the top flush with grade.
 - Replacement sidewalks shall match the existing width, and be constructed of 3,000 PSI concrete, minimum 4 inches thick, with a broom-exposed aggregate finish in natural gray concrete. Aggregate shall be Brown pea gravel, 3/8" nominal. Control joints shall be a minimum of 8 feet apart and expansion joints provided at the lot lines. The lot owner shall restore any damaged sidewalk fronting his or adjacent lots to their original condition as provided.

3. Driveways

- a. General: All homes are to provide a minimum of two parking spaces within the area indicated in the Parking Diagrams, see also the Walton County LDC. Driveway entries from the street are to be located as indicated in the Hardscape Diagrams and in the Regulation Plan. The grade of the driveway shall either be level with the intersection of the driveway and the sidewalk or follow the topography. The driveway shall consist of two 2-foot-wide concrete ribbons with a rock salt finish (minimum 4" thickness, 3,000 PSI) and shall extend from the sidewalk to the Utility Zone. The Clay brick paver infill between the two ribbons shall match the Front Entry Walk and lay on compacted sand base without mortar. Random brick may be removed for planting approved plants.
- b. Aprons: Driveway aprons shall be 3,000 PSI concrete, minimum 4" thickness with a rock salt finish and shall extend from the street curb edge to the sidewalk and align with the outside of the concrete ribbon driveway where it meets the front site wall. The apron shall flare from 11 feet at the sidewalk to 15 feet where it meets the street curb.
- c. Drainage: Two 4" pipes shall be installed under the driveway apron in the ROW between the sidewalk and street. The pipes shall be buried 12" to 18" deep with end caps at either end. The location of the pipes shall be marked on the apron by an 'x.'

4. Utility Zone

- a. General: The Utility Zone shall be placed as indicated in the Hardscape Diagrams. This zone shall contain the garbage bin and a storage structure (optional) and should accommodate the side entry into the house, if applicable. This zone may be roofed and should be tied into the overall architecture of the house.

FOREST LAKES DESIGN CODE

5. Lighting

- a. Entry: One the light is required at the house entry. It shall be wired to the house electrical panel and photocell activated with no override switch.

6. Landscaping

- a. Landscaping Zones have been identified and are shown on the Landscape Diagrams.
- b. All landscape zones must be shown on approved Landscape Plans.

FOREST LAKES DESIGN CODE

Type I

1. General

- a. Each lot owner is responsible for landscaping, irrigating, and maintaining the landscaping with the Street Right-of-Way Zone Façade Zone, Driveway Zone, and the Private Zone in accordance with the Design Code. Each lot owner is required to retain and enhance the existing native vegetation that is not approved for clearing.

2. Landscape Zones

- a. Street Right-of-way zone, Lot owner, upon completion of house, shall replace/restore all damaged trees and irrigation to its original condition. Developer to landscape and irrigate Street Trees (see Forest Lakes Street Tree Plan). FLHOA to maintain.
 - Required Plantings: Saw Palmetto and Muhly grass required between sidewalk and street.
- c. Front Façade Zone (including 5'-8' utility easement area)
 - Required plantings: 8 each Green Saw Palmetto, 7-gallon size; four, slightly staggered, on each side of the entry stairway. Inter-mix with 10 1-gallon plants of 2 or 3 species from the following: Silkgrass, Blazing Star, Slender Goldenrod, Red Calamint, Spiderwort, Gaura, Conradina. Install 10 each Switch Grass, 3-gallon size, variety "Heavy Metal," to be planted at each front lot corner to screen transformer pedestal. Alternate species: Fakahatchee Gras, Muhly Grass, Sand Cordgrass. Or otherwise approved by the DRB.
 - Type I*; the plant types required for Type I lot are required for Type I* but increased in quantity proportionally.
- c. Driveway Zone
 - Option #1: Install a row of four of either Dahoon Holly, Sweetbay Magnolia or Little Gem Magnolia, 15-gallon size at 10 feet on center, 12" away from the side property line. Match the species on the adjacent lot if it is landscaped first and alternate the plants to keep plants five feet apart in a staggered row. Or otherwise approved by the DRB.
 - Option #2: On the other side of the drive, 15 inches from the house, plant a hedge of either Dwarf Yaupon Holly or Dwarf Wax Myrtle, 3-gallon size at two feet on center. Maintain hedge at a maximum height of 36". Maintain a 15" wide unplanted zone mulched with pine straw outboard of each driveway ribbon doe vehicle access/egress. Or otherwise approved by the DRB.
 - Driveway Median: Up to 20 bricks may be removed from the brick driveway median for the purpose of planting prostrate or creeping plants, e.g. Creeping Thyme, Gopher Apple, Blue-eyed Grass, Hair Moss, etc. Or otherwise approved by the DRB.
- d. **Buffer Zone** - (Side and Rear Lot Lines). The Intent of the Buffer Zone Landscape is to establish seams of native plantings that are indigenous to the site that will be harmonious with the preserved vegetation of the site and provide privacy and beauty for the rear yard private zones. Existing native trees and other vegetation in the rear yards of all lots are to be preserved, protected and enhanced as feasible. No trees within the rear-yard Buffer Zone may be removed without the written permission from the Forest Lakes Review Board. Inadvertent loss or removal of protected trees will be subject to a penalty of \$200 per caliper inch measured three feet above the ground. All non-native plants, including established turf grasses, which are growing within this and all other zones on each lot are to be removed from the site. Within the side and rear setback Buffer Zone the following minimum plantings are required:
 - One plant every 15 linear feet of the following (minimum two species per side): Sand Live Oak 6'-8' height, Little Gem Magnolia, 8'-10' height, Sand Pine, 6'-8' height. Or otherwise approved by the DRB.

FOREST LAKES DESIGN CODE

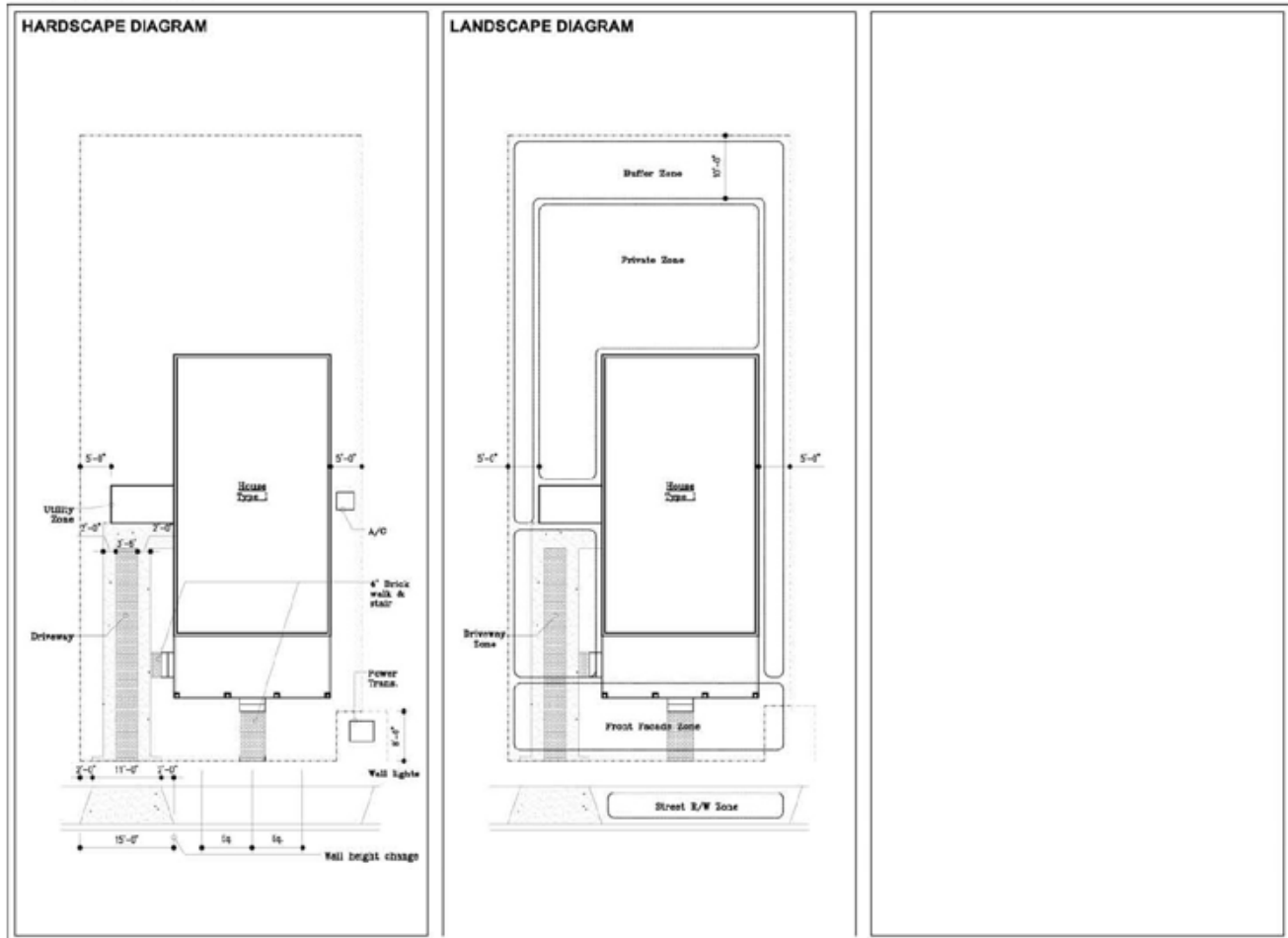
- One plant every 8 linear feet of the following (minimum three species per side): Yaupon Holly, 4'-5' height, 7-gallon; Yellow Haw, 4'-5' height, 7-gallon; Myrtle Oak, 4'-5' height, 7-gallon; Turkey Oak, 5'-6' height, 7-gallon; Chapman's Oak, 5'-6' height, 7-gallon. Or otherwise approved by the DRB.
- One plant every 5 linear feet of the following (minimum four species per side): All 3-gallon size: American Beautyberry, Sparkleberry, Ocala Anise, Green Saw Palmetto, Silver Saw Palmetto, Rusty Lyonia, Devilwood Osmanthus, Florida Anise (shady sites only). Or otherwise approved by the DRB.
- e. **Private Zone** - This is the rear and side yard area inscribed by the house and the Rear and Side Yard Buffer Zones to be used as outdoor living/gardening space. This area is not to extend any deeper than 35 feet from the rear wall of the house. Fencing and turf grass (natural/synthetic) will be allowed within in the Private Zone with prior approval of the DRB. Hardscape improvements including pool and pool decks may cover no more than 35 % of the Private Zone Area. Accepted hardscape materials are red brick, concrete pavers, wood decking, and crushed shell or gravel with brick paver, or wood border. Wood decks in the rear yard may be higher than 30" above the lowest adjacent grade. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the DRB.

3. Irrigation Systems

- a. All homeowners are responsible for irrigating all planting within their lot lines (the FLHOA will irrigate and maintain all right-of-way landscapes). Each home is required to have an automatic irrigation system with an electric clock and valves that utilize only drip fittings. The water source shall be the household potable water line down stream from the water meter. An approved back-flow preventer shall be installed up-stream from any irrigation fittings as required by the local utility company.

FOREST LAKES DESIGN CODE

TYPE I AND TYPE I *



FOREST LAKES DESIGN CODE

Type II

1. General

- a. Each lot owner is responsible for landscaping, irrigating, and maintaining the landscaping within the Street Right-Of-Way Zone, Front Façade Zone, Driveway Zone Buffer Zone, and the Private Zone in accordance with the Design Code. Each lot owner is required to retain and enhance the existing native vegetation that is not approved for clearing.

2. Landscape Zones

- a. Street Right-Of-Way Zone: Lot owner, upon completion of house, shall replace/restore all damaged trees and irrigation to its original condition. Developer to landscape and irrigate Street Trees (see Forest Lakes Street Tree Plan). FLHOA ultimately to maintain.
 - Required Plantings: 5 each Green Saw Palmetto, 7-gallon size; mixed ground cover plants, 1-gallon size, minimum of 3, maximum of species from the following: Conradina, Atlantic St. John's Wort, Silkgrass, Woody Goldenrod, Red Calamint, Spiderwort, Blue-eyed Grass, slender Goldenrod. Or otherwise approved by the DRB. (*See E7 - Approved Plant List for proper nomenclature/identification.*)
- b. Front Façade Zone: (in- Approved Plants for including 5'-8' utility easement area)
 - Requirement Plantings: 6 each Green Saw Palmetto, 7-gallon size, three, slightly staggered, on each side of the entry walk and stair. Inter-mix with 10 1-gallon plants of 2 or 3 species from the following: Silkgrass, Blazing Star, Slender Goldenrod, Red Calamint, Spiderwort, Gaura, Conradina. Install 10 each Switch Grass, 3-gallon size, variety "Heavy Metal," to be planted at each front lot corner to screen transformer pedestal. Alternate species: Fakahatchee Gras, Muhly Grass, Sand cordgrass. Or otherwise approved by the DRB.
- c. Driveway Zone:
 - Option #1: Plant at 18" away from both the house and the property line a hedge of either Dwarf Wax Myrtle or Dwarf Yaupon Holly, 7-gallon size, plant 2 feet on center. Maintain hedge at a maximum height of 36". Maintain a 15" wide unplanted Zone mulched with pine straw our board of each driveway ribbon. Or otherwise approved by the DRB.
 - Option #2. Plant a mixed border (Minimum 60 each 1-gallon plants) along the property line and the base of house of four or five of the following plant species: Woody Goldenrod, Red Calamint, Conradina, Atlantic St, John's Wort, Silkgrass, Culinary Rosemary, Purple Lovegrass, Spiderwort, Slender Goldenrod. Or otherwise approved by the DRB.
 - Driveway Median: Up to 20 bricks may be removed from the brick driveway median for the purpose of planting prostrate or creeping plants, e.g. Creeping Thyme, Gopher Apple, Blue-eyed Grass, Hair Moss, etc. Or otherwise approved by the DRB.
- d. Buffer Zone: (Side and Rear Lot Lines). The intent of the Buffer Zone Landscape is to establish seams of native plantings that are indigenous to the site that will be harmonious with the preserved vegetation of the site and provide privacy and beauty for the rear yard Private Zone. Existing native trees and other vegetation in the rear yards of all lots are to be preserved, protected and enhanced as feasible. No trees within the rear yard Buffer Zone may be removed without the written permission from the Forest Lakes Review Board. Loss or removal of protected trees will be subject to a penalty of \$200 per caliper inch measured three feet above the ground paid to the FLHOA for tree replacement. All non-native plants, including established turf grasses, which are growing within this and all other zones on each lot are to be removed from the site. Within the side and rear setback Buffer Zone the following minimum plantings are required:

FOREST LAKES DESIGN CODE

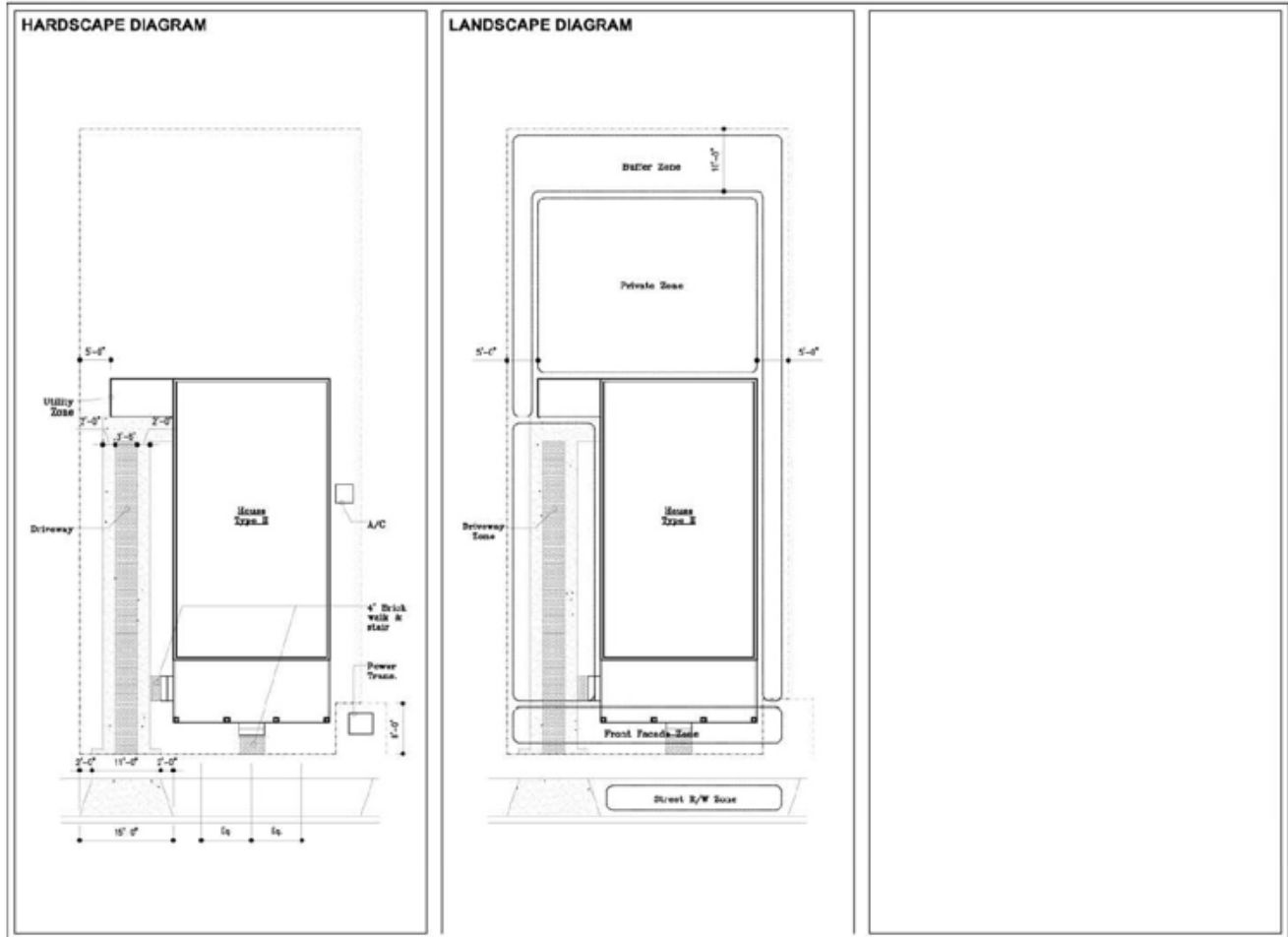
- One plant every 15 linear feet of the following (minimum two species per side): Sand Live Oak 6'-8' height, 'Little Gem' Magnolia, 8'-10' height, Sand Pine, 6'-8' height. Or otherwise approved by the DRB.
 - One plant every 8 linear feet of the following (minimum three species per side): Yaupon Holly, 4'-5' height, 7-gallon; Yellow Haw, 4'-5' height, 7-gallon; Myrtle Oak, 4'-5' height, 7-gallon; Turkey Oak, 5'-6' height; Chapman's Oak, 5'-6' height, 7-gallon. Or otherwise approved by the DRB.
 - One Plant every 5 linear feet of the following (minimum four species per side); All 3- gallon size; American Beautyberry Sparkleberry, Ocala Anise, Green Saw Palmetto, Silver Saw Palmetto, Rusty Lyonia, Devilwood Osmanthus, Florida Anise (shady sites only). Or otherwise approved by the DRB.
- e. Private Zone: This is the rear and side yard area inscribed by the house and the Rear and Side Yard Butter Zones. Existing trees and other vegetation in this area may be removed only with written permission of the DRB. All existing non-native vegetation including turf grass in this area is to be removed. Proposed new planting may depart from the Lakes Approved Plant List that they are not visible from the street or other public areas. Fencing and turf grass (natural/synthetic) will be allowed within in the Private Zone with prior approval of the DRB. "Invisible Fences" will be required for dog containment areas. Hardscape improvements including pools and pool decks may cover no more than 35% of the Private Zone Area. Accepted hardscape materials are red brick, concrete pavers, wood decking, and crushed shell or gravel with a brick, paver, or wood border. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the DRB.

3. Irrigation Systems

- a. All homeowners are responsible for irrigating all planting within their lot lines (FLHOA will irrigate and maintain all right-of-way landscaping). Each home is required to have an automatic irrigation system with an electric clock and valves that utilize only drip fittings. The water source shall be the household potable water line downstream from the water. An Approved back-flow preventer shall be installed up-stream from any irrigation fittings as required by the local utility company.

FOREST LAKES DESIGN CODE

TYPE II



FOREST LAKES DESIGN CODE

Type III

1. General

- a. Each lot owner is responsible for landscaping, irrigating and maintaining the landscaping within the Street Right-of-Way Zone, Front Façade Zone, Driveway Zone, Buffer Zone, and the Private Zone in accordance with the Design. Each lot owner is required to retain and enhance the existing native vegetation that is not approved for clearing.

2. Landscape Zones

- a. Street Right-of-Way Zone: Lot owner, upon completion of house, shall replace/restore all damaged trees and irrigation to its original condition. Developer to landscape and irrigate Street Trees (see Forest Lakes Street Tree Plan). FLHOA ultimately to maintain.
 - Required Plantings Saw Palmetto and Muhly grass required between sidewalk and street.
- b. Front Façade Zone: (including 5'-8' utility easement area)
 - Required Plantings: 8 each Green Saw Palmetto, 7-gallon size; four slightly staggered, on each side of the entry stairway. Inter-max with 10 1-gallon plants of 2 or 3 species from the following: Silkgrass, Blazing Star, Slender Goldenrod, Red Calamint, Spiderwort, Gaura, Conradina. Install 10 each Switch Grass, 3-gallon size, variety "Heavy Metal," to be planted at each front lot corner to screen transformer pedestal. Alternate species: Fakahatchee Gras, Muhly Grass, Sand Cordgrass. Or otherwise approved by the DRB.
 - Type III*; The plant types required for Type III lots are required for Type III* but increased in quantity proportionally.
- c. Driveway Zone:
 - Option #1: Install a row of four of either Dahoon Holly, Sweetbay Magnolia or little Gem Magnolia, 15-gallon size of 10 feet on center, 12" away from the side property line. Match the species on the adjacent lot if it is landscaped first and alternate the plants roughly five feet apart in a staggered row. Or otherwise approved by the DRB.
 - Option #2: On the other side of the drive, 15 inches from the house, plant a hedge of either Dwarf Yaupon Holly or Dwarf Myrtle, 3-gallon size at two feet on center. Maintain hedge at a maximum height 36". Maintain a 15" wide unplanted zone mulched with a pine straw outboard of each driveway ribbon for vehicle access/egress. Or otherwise approved by the DRB.
 - Driveway Median: Up to 20 bricks may be removed from the brick driveway median for the purpose of planting prostrate or creeping plants. e.g. Creeping Thyme, Gopher Apple, Blue-eyed Grass, Hair Moss, etc. Or otherwise approved by the DRB.
- d. Buffer Zone: (Side and Rear Lines). The intent of the Buffer Zone Landscape is to establish seams of native plantings that are indigenous to the site that will be harmonious with the preserved vegetation of the site and provide beauty for the rear yard zones. Existing native trees and other vegetation in the rear yards of all lots are to be preserved, protected and enhanced as feasible. No trees within the rear-yard Buffer Zone may be removed without the written permission from the Forest Lakes Review Board. Inadvertent loss or removal of protected trees will be subject to a penalty of \$200 per caliper inch measured three feet above the ground. All non-native plants, including established turf grasses that are growing within this and all other zones each lot are to be removed from the site. Within the side and rear setback buffer Zone of the following minimum plantings are required:
 - One plant every 15 linear feet of the following (minimum two species per side): Sand Live Oak 6'-8' height, Little Gem Magnolia, 8'-10' height, Sand Pine, 6'-8' height. Or otherwise approved by the DRB.

FOREST LAKES DESIGN CODE

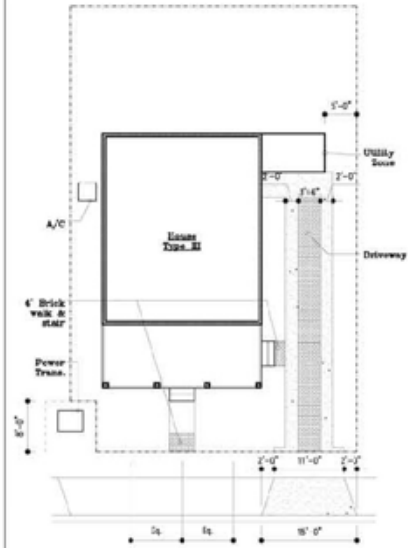
- One plant every 8 linear feet of the following (minimum three species per side): Yaupon Holly, 4'-5' height, 7-gallon; Yellow Haw, 4'-5' height, 7-gallon; Myrtle Oak, 4'-5' height, 7-gallon; Turkey Oak, 5'-6' height, 7-gallon; Chapman's Oak 5'-6' height, 7-gallon. Or otherwise approved by the DRB.
 - One plant every 5 linear feet of the following (minimum four species per side): All 3- gallon size; American Beautyberry, Sparkleberry, Ocala Anise, Green Saw Palmetto, Silver Saw Palmetto, Rusty Lyonia, Devilwood Osmanthus, Florida Anise (shady sites only). Or otherwise approved by the DRB.
- e. Private Zone: This is the rear and side yard area inscribed by the house and the Rear and Side Yard Buffer Zones to be used as outdoor living/ gardening space. This area is not to extend any deeper than feet from the rear wall of the house. Fencing and turf grass (natural/synthetic) will be allowed within in the Private Zone with prior approval of the DRB. Hardscape improvements including pool decks may cover no more than 35 % of the Private Zone Area. Accepted hardscape materials are red brick, concrete pavers, wood decking, and crushed shell or gravel with brick paver, or wood border. Wood deck in the rear may be no higher than 30" above the lowest adjacent grade. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the lowest adjacent grade. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the DRB.

3. Irrigation Systems

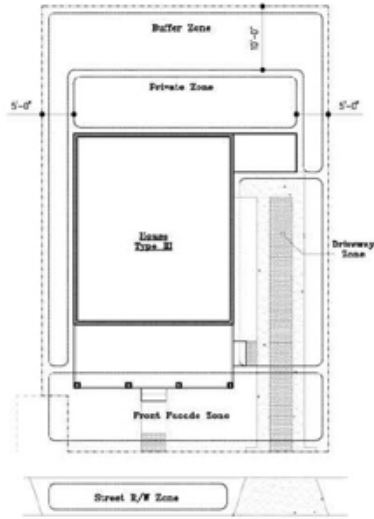
- a. All homeowners are responsible for irrigating all planting within their lot lines (the FLHOA will irrigate and maintain all right of way landscaping). Each home is required to have an automatic irrigation system with an electric clock valve that utilizes only drip fittings. The water shall be the household potable water line down from the water meter. Approved back-flow preventer shall be installed up steam from any irrigation fittings as required by the local utility company.

FOREST LAKES DESIGN CODE

TYPE III AND TYPE III*



LANDSCAPE DIAGRAM



FOREST LAKES DESIGN CODE

Type IV

1. General

- a. Each lot owner is responsible for landscaping, irrigating and maintaining the landscaping within the Street Right-of-Way Zone, Front Façade Zone, Driveway Zone, Buffer Zone, and the Private Zone in accordance with the Design. Each lot owner is required to retain and enhance the existing native vegetation that is not approved for clearing.

2. Landscape Zones

- a. Street Right-of-Way Zone: Lot owner, upon completion of house, shall replace/restore all damaged trees and irrigation to its original condition. Developer to landscape and irrigate Street Trees (see Forest Lakes Street Tree Plan). FLHOA ultimately to maintain.
 - Required Plantings: 5 each Green Saw Palmetto, 7-gallon size; 25 mixed ground cover plants, 1-gallon size, minimum of 3, maximum of species from the following: Conradina, Atlantic St. John's Wort, Silkgrass, Woody Goldenrod, Red Calamint, Spiderwort, Blue-eyed Grass, Slender Goldenrod. Or otherwise approved by the DRB.
- b. Front Façade Zone: (including 5'-8' utility easement area)
 - Required Plantings: 8 each Green Saw Palmetto, 7-gallon size; four slightly staggered, on each side of the entry stairway. Inter-max with 10 1-gallon plants of 2 or 3 species from the following: Silkgrass, Blazing Star, Slender Goldenrod, Red Calamint, Spiderwort, Gaura, Conradina. Install 10 each Switch Grass, 3-gallon size, variety "Heavy Metal," to be planted at each front lot corner to screen transformer pedestal. Alternate species: Fakahatchee Gras, Muhly Grass, Sand Cordgrass. Or otherwise approved by the DRB.
- c. Driveway Zone:
 - Option #1: Install a row of four of either Dahoon Holly, Sweetbay Magnolia or little Gem Magnolia, 15-gallon size of 10 feet on center, 12" away from the side property line. Match the species on the adjacent lot if it is landscaped first and alternate the plants roughly five feet apart in a staggered row. Or otherwise approved by the DRB.
 - Option #2: On the other side of the drive, 15 inches from the house, plant a hedge of either Dwarf Yaupon Holly or Dwarf Myrtle, 3-gallon size at two feet on center. Maintain hedge at a maximum height 36". Maintain a 15" wide unplanted zone mulched with a pine straw outboard of each driveway ribbon for vehicle access/egress. Or otherwise approved by the DRB.
 - Driveway Median: Up to 20 bricks may be removed from the brick driveway median for the purpose of planting prostrate or creeping plants. e.g. Creeping Thyme, Gopher Apple, Blue-eyed Grass, Hair Moss, etc. Or otherwise approved by the DRB.
- d. Buffer Zone: (Side and Rear Lines). The intent of the Buffer Zone Landscape is to establish seams of native plantings that are indigenous to the site that will be harmonious with the preserved vegetation of the site and provide beauty for the rear yard zones. Existing native trees and other vegetation in the rear yards of all lots are to be preserved, protected and enhanced as feasible. No trees within the rear-yard Buffer Zone may be removed without the written permission from the Forest Lakes Review Board. Inadvertent loss or removal of protected trees will be subject to a penalty of \$200 per caliper inch measured three feet above the ground. All non-native plants, including established turf grasses that are growing within this and all other zones each lot are to be removed from the site. Within the side and rear setback buffer Zone of the following minimum plantings are required:

FOREST LAKES DESIGN CODE

- One plant every 15 linear feet of the following (minimum two species per side): Sand Live Oak 6'-8' height, Little Gem Magnolia, 8'-10' height, Sand Pine, 6'-8' height. Or otherwise approved by the DRB.
 - One plant every 8 linear feet of the following (minimum three species per side): Yaupon Holly, 4'-5' height, 7-gallon; Yellow Haw, 4'-5' height, 7-gallon; Myrtle Oak, 4'-5' height, 7-gallon; Turkey Oak, 5'-6' height, 7-gallon; Chapman's Oak 5'-6' height, 7-gallon. Or otherwise approved by the DRB.
 - One plant every 5 linear feet of the following (minimum four species per side): All 3- gallon size; American Beautyberry, Sparkleberry, Ocala Anise, Green Saw Palmetto, Silver Saw Palmetto, Rusty Lyonia, Devilwood Osmanthus, Florida Anise (shady sites only). Or otherwise approved by the DRB.
- e. Private Zone: This is the rear and side yard area inscribed by the house and the Rear and Side Yard Buffer Zones to be used as outdoor living/ gardening space. This area is not to extend any deeper than feet from the rear wall of the house. Fencing and turf grass (natural/synthetic) will be allowed within in the Private Zone with prior approval of the DRB. Hardscape improvements including pool decks may cover no more than 35 % of the Private Zone Area. Accepted hardscape materials are red brick, concrete pavers, wood decking, and crushed shell or gravel with brick paver, or wood border. Wood deck in the rear may be no higher than 30" above the lowest adjacent grade. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the lowest adjacent grade. Spas and outdoor showers are permitted with the understanding that all screening must be done with vegetation. All proposed Private Zone improvements are subject to approval by the DRB.

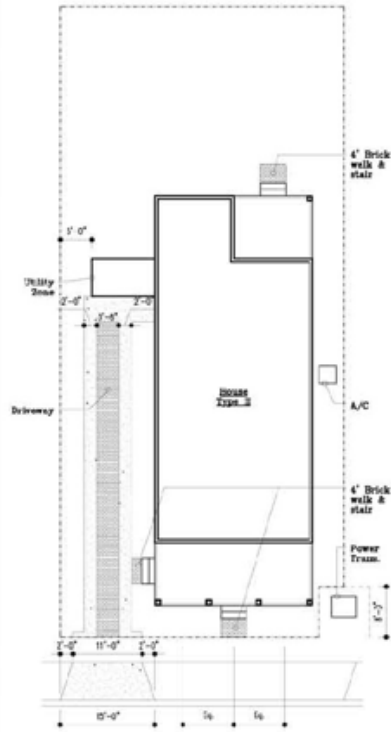
3. Irrigation Systems

- a. All homeowners are responsible for irrigating all planting within their lot lines (the FLHOA will irrigate and maintain all right of way landscaping). Each home is required to have an automatic irrigation system with an electric clock valve that utilizes only drip fittings. The water shall be the household potable water line down from the water meter. Approved back-flow preventer shall be installed up steam from any irrigation fittings as required by the local utility company.

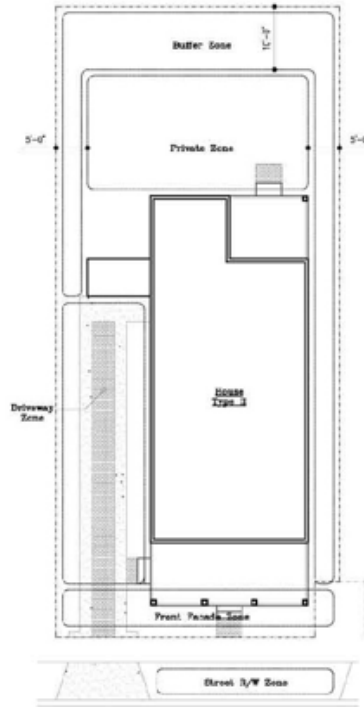
FOREST LAKES DESIGN CODE

TYPE IV AND IV*

HARDSCAPE DIAGRAM



LANDSCAPE DIAGRAM



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DESIGN REVIEW APPROVAL

1. Approval Administration

- a. General: all approval related materials including design review submittals shall be sent via digital submission unless otherwise requested by the DRB. Contact information can be located in the **Design Review Application package**.

2. Approved Architects

- a. General: Design submittals required under this Design Code must be prepared by a Florida Licensed Architect and on the Approved Architects List. To add on architect to the Approved Architects List, the person or company seeking approval must submit a portfolio of residential work. Please contact the association manager for details of the portfolio submission. Site specific approvals as well as approvals pending submission of portfolio may be given at the sole discretion of the Forest Lakes Design Review Board (DRB). Typically, an architect not on the Approved Architects List is allowed to do one house on a one-time trial basis. Refer to ***E8 - Approved Architects***.

3. Compliance

- a. General: The DRB will make decisions regarding approvals and denials upon compliance with this Code. The DRB members will endeavor to make fair and just decisions on all projects but will have the authority to deny plans based on their opinions as they relate to the interpretation of the Code. Approval of a project does not constitute that the Board warrants construction means, methods or quality, nor the conformance to zoning, building or other regulatory codes affecting building construction in Walton County and the State of Florida. Application shall be reviewed for compliance with the Forest Lakes Design Code version, which is current as of the application submittal date. Final design approvals shall expire 12 months from the date of the approved project design. If construction has not commenced within one year of the approval date, the lot owner must resubmit for design approval. Resubmission application for expired approvals must conform to the Forest Lakes Design Code version, which is current as of the resubmission date.

4. Variances

- a. General: Variances may be granted at the DRB's sole discretion for architectural merit, existing site conditions or demonstrated hardship.

5. Design Review Fees

- a. General: The DRB will conduct one review at the completion of Schematic Design and one review at the completion of the Construction Documents.
- b. Fee: All fees and deposits are outlined in ***E9 - Design Review Fee & Deposit Schedule***. All fees and deposits are due as noted on the form and payable to the Forest Lakes Homeowners Association.

6. Schematic Design Review Process

- a. General: The applicant shall submit with the Schematic Design Submittal a Schematic Design Review Application, including and initial signed statement the Owner and its architect fully understands the Design Code, and that the submittal package meets those requirements. If the submitter knows of any exceptions or non-compliance items, they must fill out and submit a Schematic Design Variance Form with the package.
- b. Submittal: The Schematic Design Submission shall include the following:
 - Schematic Design Review form shall be submitted along with any required Non-refundable fees/deposits.
 - Certified topographic and boundary survey showing existing grades at one-foot contours and existing vegetation with all tree's species 4" or greater in caliper at diameter breast height.

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- Site plan at a minimum 1/16" scale to a maximum of 1/8" scale. The following must be on the site plan.
 - Scale and North arrow,
 - Building footprint with setbacks,
 - Driveways, parking areas, walks, garden, walls, courtyards, and fencing.
 - Porches, patios, spas, etc.,
 - Schematic storm water retention areas.
 - Floor Plans at 1/8" scale or 1/14" scale.
 - All elevations (same scale as floor plan) showing:
 - Porches and balconies,
 - Doors, windows, and other openings,
 - Heights of each floor and overall height of main and highest roof, FL
 - Roof pitch indication.
- Schematic Design Variance Request Form (if any).
- Three sets of the Schematic drawings are required with the Submittal.
- c. Review: The DRB shall have three weeks to review the Schematic Design Submittal. The DRB will either issue an approval, an approval with comments, or a denial of the submittal. The DRB shall provide approvals or denials (with comments) on Schematic Design Compliance Form. For approved projects, the form shall bear a DRB authorized signature. A formal appeal of a decision must be submitted in writing to the DRB.

7. Final Design Review Process

- a. General: The applicant shall submit with the Final Design Submittal, a copy, with approval signature(s), of the Schematic Design Compliance Form. And a Final Design Review Application. If the submitter knows of any exceptions or non-compliance items, they must fill out and submit a Final Design Variance Form, with the package.
- b. Submittal: The Final Design Submittal shall include the following:
 - a. Final Design Review Application Form showing DRB's approval.
 - b. Final Design Variance Request Form (if any).
 - c. Signed and sealed cover sheet to be included with the Architectural Drawings.
 - d. Construction Fine and Fee Schedule Acknowledgement shall be signed and submitted by all required.
 - e. Site plan at 1/8" scale. The following must be on the site plan:
 - Scale and North arrow,
 - Building footprint and setbacks,
 - Storm water retention areas,
 - Preservation areas,
 - Driveways, parking areas, walks, garden walls, courtyards, and fencing,
 - Porches, patios, decks, spas, etc.
 - Mechanical equipment and screens,
 - Garbage bin enclosure,
 - Roof over hangs
- Floor plans at 1/4" Scale (dimensioned and labeled).
- All elevations at 1/4" scale showing.
 - Porches and balconies,
 - Doors, windows, other openings,
 - All exterior materials,
 - Heights of each floor and overall height of main and highest roof,
 - Roof pitch indication,

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- Color samples of all exterior colors and their location show on the exterior elevations.
- Construction details including wall sections.
- Exterior light fixture cut sheets.
- Materials List
- Color Selection Form
- Landscape Plan indicating:
 - Existing trees and understory vegetation to remain.
 - Proposed new trees and understory vegetation.
 - Plant identification by botanical and common name, size, and quality.
 - Notes for implementation, soil amendments, finishes and industry plant grades.
 - Notes for irrigation methods, water source and coverage.
- Construction Parking Plan
- a. Review: The DRB shall have three weeks to review the Final Design Review. The FDRB shall provide approvals or denials, (with comments), on a Final Design Compliance Form. For approved projects, the form shall bear a DRB authorized signature. A formal appeal of a decision must be submitted in writing to the DRB.

8. Changes to Approved Plans or Property Post Construction

- a. Refer to ***E11 – Checklist for Major & Minor Changes.***
- b. Refer to ***E12 – Change Request (Major/Minor) Fees & Deposit Schedule.***
- c. General: The description of major and minor change requests in FLHOA typically includes the following:
 - i. Major Modifications: These are significant changes that may alter the structure, appearance, or layout of the property. Examples include new construction, room additions, or swimming pools. Approval is contingent upon compliance with the architectural standards and community guidelines as outlined in the Design Code. Refer to the Major Change Application Form for more details located in the DRB Application Package.
 - ii. Minor Modifications: These are less significant changes that do not alter the structure or layout of the property. Examples include painting, door replacements, or landscaping changes. Approval is still required to maintain the aesthetic appeal of the community. Refer to the Minor Change Application Form for more details located in the DRB Application Package.
- d. Process: The process for request in these changes involves submitting detailed plans, including blueprints, material specifications, and dimensions, to the DRB. The DRB reviews these plans and may take up to 60-days to process the request, depending on its complexity. It is essential for homeowners to understand the specific requirements of Forest Lakes to secure approval for any modification. Failure to comply with these requirements can result in violations.

9. Construction Parking Policy

- a. General Requirements: Prior to submission of the Final Review Package, the Builder must prepare and submit a Construction Parking Plan (CPP) outlining how parking will be accommodated for all builder and subcontractor vehicles during construction.
- b. Minimum Plan Requirements: At a minimum, the CPP must include the following:
 - i. Identification of the number of parking spaces available along the frontage of the construction lot, ensuring that a 12-foot clearance is maintained on all streets to allow access for emergency vehicles.
 - ii. If parking on pine straw or sidewalks is necessary to maintain the required 12-foot clearance, the Builder will be responsible for maintaining the pine straw areas during construction and repairing any damage to sidewalks prior to the return of any remaining Builder Deposit at the

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- end of construction.
- iii. Indication of whether the future driveway of the construction lot will be used for temporary parking during construction.
- c. **Parking Restrictions:** Parking in unauthorized areas—including in front of, adjacent to, or on other lots not associated with the application, tree-save areas (common areas), or any location not specifically designated in the approved CPP—is strictly prohibited. Vehicles parked in violation of this policy may be towed at the subcontractor's and/or vehicle owner's expense. Violations may also result in penalties assessed against the Builder for continued or repeated non-compliance.
- d. **Enforcement:** These regulations will be strictly enforced. Please refer to the **Construction Fine & Fee Policy** for additional details regarding violations and associated penalties related to new construction activities.

10. Elected Tree Removal (Post Construction)

- a. **General:** The purpose of the Elected Tree Removal code is to provide an opportunity for homeowners to remove trees from their property that are not deemed problematic by the DRB. This code is intended to be used after a lot has been developed and construction has been completed.
- b. Elected removal of protected trees will be subject to one, or a combination of the following options:
 - i. Option 1 - Replacement of removed tree by replanting a tree or trees on the same lot. The total number of caliper inches of the planted trees (measured 6" above grade) must be equal to that of the tree removed as measured three feet above the ground. The replacement tree must be a native tree(s) from the Forest Lakes Approved Plant List with a minimum height of 10-feet.
 - ii. Option 2 – Replacement of removed tree via a replanting within a DRB designated community common area. The total number of caliper inches of the planted trees (measured 6" above grade) must be equal to that of the tree removed as measured three feet above the ground. The replacement tree must be a native tree(s) from the Forest Lakes Approved Plant List with a minimum height of 10-feet.
 - iii. Option 3 – Contribution to the community tree care and replacement fund of \$200 per caliper inch measured three feet above the ground. These funds will be used to replace and/or maintain trees throughout the community's common area and streetscape.
- c. **Removal of a protected tree requires prior written approval of the DRB or a tree(s) removal violations may be issued. Additional tree species not on the Forest Lakes Approved Plant List may be used with prior DRB approval.** All replacement trees must be Florida No. 1 or better in quality as defined by the Florida GRADES AND STANDARDS FOR NURSERY STOCK (current edition). Trees that have died are exempt from this requirement and may be removed and replaced with the same species without DRB approval.

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CONTRACTOR CODE

1. Contractor Standards:

The following shall apply to all construction, improvement, alteration, or maintenance of any structure, to any change to the exterior of any structure and to grading, excavating, tree removal, landscaping, or any other change to the grounds of a single-family house in Forest Lakes. In the event a violation of these criteria and guidelines takes place, the construction or work being performed shall cease until conformance is achieved. Infractions of the construction rules may be cause for a fine per infraction as outlined in the Forest Lakes Construction Fine & Fee Policy (Policy Acknowledged as part of the Final Design Review Submission) and/or suspension of a contractor or subcontractor from Forest Lakes.

- a. All Contractors must be pre-approved prior to commencement of construction of any residence with Forest Lakes. Refer to *E9 - Design Review Fee & Deposit Schedule* for specifics regarding refundable and non-refundable fees and deposits.
- b. A Compliance Deposit fee will be charged as outlined in *E9 - Design Review Fee & Deposit Schedule*.
- c. No lot clearing or placement of portable toilets will be permitted until all required government permits are obtained and formal written approval has been granted.
- d. Prior to commencing work, a portable toilet must be placed on the job site and in a manner to least disturb other residences and other construction.
- e. For security purposes, all contractors must register a complete list of their subcontractors and other employees who are permitted entry with the FLHOA. No vehicle shall be parked on any other lots whether vacant, under construction or completed.
- f. The construction work hours shall be from 7.30 A.M CT to 6.00 PM CT Monday through Saturday, except on nationally recognized holidays. The construction working hours are subject to the rules and regulations of the FLHOA.
- g. All construction sites must be maintained in a neat and orderly fashion. All Contractors are required to provide one (1) trash dumpster for every residence under construction. Dumpsters must be covered and emptied on a regular basis. The contractor is responsible for trash that blows off the site (by his/her crew and subcontractors) and shall retrieve such trash immediately. No trash is to be stockpiled on the lot. There will be no stockpiling or dumping on adjacent lots or on streets. Remaining trash will be removed by FLHOA and billed to the responsible Contractor. Contractors will use only the utilities provided on the site on which they are working.
- h. Only. Plants, vegetation, and trees directly with the approved structure, roof overhangs, or driveway are to be removed. Any plants, vegetation, or trees uprooted or cut down on the job site to be removed from the job site and from Forest Lakes as soon as is practical but not later than five (5) working days.
- i. Any damage to streets and curbs, drainage inlets, sidewalks, streetlights, street markers, walls, etc., will be repaired by FLHOA and such costs billed to the responsible Contractor or taken from the compliance deposit.
- j. Operators of vehicles are required to see that they do not spill any damaging materials while within Forest Lakes. If spillage of a load occurs, operators are responsible for cleaning it up. Clean-ups done by the FLOHA will be billed to the responsible party. Please report any spills as soon as possible.
- k. If any telephone, cable television, electrical, water, etc., lines are cut; it is the Contractor's responsibility to report the accident to the FLOHA with thirty (30) minutes.
- l. All construction workers will be required to wear clothing compatible with their specific job requirements. Shirts shall be worn at all times.

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- m. All personnel working in Forest Lakes are to keep all of their areas free of discarded materials such as lunch bags and odd materials. Objects should not be thrown out of cars and trucks.
- n. Loud radios or noise will not be allowed within Forest Lakes. Normal radio levels are acceptable; however, speakers mounted on vehicles or outside of homes under construction are not permitted.
- o. No vehicles (trucks, vans cars, etc.) may be left I the Forest Lakes overnight. Construction equipment may be left on the site while needed but must not be kept on the street or adjacent properties unless prior permission has been granted.
- p. Only bona fide workers are allowed on the property and are required to exit the property upon completion of their work. Spouses may drive workers to and from the site but must not remain on the property unless they are actual employees of the Contractor or sub-contractor. For safety reasons, children will not to be permitted on the job site. No alcoholic beverages are permitted on or near the job site. Contractor personnel will not be permitted to bring pets to Forest Lakes.
- q. During construction, one (1) approved standardized construction sign will be allowed within the front setback of the lot to assist sub-contractors and others locate the particular lot within the Community. Such sign may be erected at commencement of construction and removed at completion of construction. During construction, one (1) approved standardized permit board will be erected within the front setback of the lot to accommodate all building permits and/or approvals that may be issued. Such board will be erected at commencement of construction and removed at completion of construction.
- r. No other signs, boards, flags, banners, etc. will be permitted. This shall include but not be limited to signs advertising offering or soliciting “for sale” or “open house” by an agency, the owner or builder. This shall include any signs placed on the interior of structure that are visible in any manner from the exterior. Exceptions will be granted for a staffed open house during daylight hours. One (1) sign maximum will be allowed for each lot staffed.
- s. Except for approved “Parade of Homes” signage sponsored by the local Board of Realtors association, no award or directional signs will be placed, posted, or erected anywhere within the confines of Forest Lakes.
- t. FLOHA reserves the right to remove and retain without notice all signage that is prohibited, non-conforming to standard specifications or not having the prior review and approval of the FLHOA.
- u. Spray painting is not allowed in Forest Lakes.

2. Contractor Qualifications:

- a. General: Forest Lakes insists that the quality of the construction of our homes is in keeping with our standards for excellence in design. Architectural designs are simply plans; execution of those plans requires experience. It is for these reasons that we require an application and have set the following criteria for approval of Contractors. Refer to ***E10 – Approved Builders***.
 - The Contractor must be licensed and submit a completed Builder Application form to FLOHA.
 - The Contractor must have at least five years experienced in building custom, single-family homes.
 - The Contractor must provide pictures, along with the names, address, and telephone numbers, of all homes built during the last three (3) years and a recommendation from at least three (3).
 - The Contractor must have an established quality reputation in Walton, Okaloosa, and/or Bay County.
 - The Contractor must provide a complete list of sub-contractors and suppliers for the past three (3) years.
 - The Contractor must supply a letter from a lender, which establishes his financial ability to construct a custom hoe and his financial stability over the last three (3) years.
 - The Contractor must provide a certificate of insurance of limits no less than One Million Dollars (\$1000,000) for liability and casualty coverage.

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- The contractor agrees to supply his customer with a current financial statement upon request.

The above criteria have been established for the protection of Forest Lakes as a whole. We do not wish to stifle completion; in fact, we encourage it. However, a contractor's reputation is only earned through experience and customer satisfaction.

Any contractor not on the Forest Lakes approved builder's list (if approved) will be allowed to build one (1) site-specific house in Forest Lakes. Upon completion of the site-specific house the contractor may apply to be added to the approved builder's list.